

# Car Park and Men's Shed Project

## Formal Project Meeting #1 – Design & Delivery

**Date:** 26 March 2026

### Attendees

- Wilton Town Council Cllrs La Femina and Blandford-Hull
- Men's Shed – Cllr Edge
- Phil Proctor – Architect and owner of a new public car park
- WTC Town Clerk – Brie Logan

### Agenda

#### 1. Welcome, Introductions and Purpose of Meeting

- Introductions from all attendees
- Confirmation that this is Formal Project Meeting #1
- Purpose: to consider the proposed car park layout and Men's Shed preparatory works.
- Reminder of council resolution:

D. Project 4 and 5 Men's Shed Compound works and Car park project - Proposed by Cllr La Femina and seconded by Cllr Boyd it was **RESOLVED** to assign Cllr La Femina to the Men's Shed compound works and Pavilion Car Park project as co-project lead.

Proposed by Cllr Blackman and seconded by Cllr Ditton it was further **RESOLVED** to assign Cllr Blandford-Hull to the Men's Shed compound works and Pavilion Car Park project as co-project lead.

This project is a single council managed project in 2 phases (as per option 2).

E. Project 4 - Men's Shed Lease - works – Proposed by Cllr Blackman and seconded by Cllr Forbes it was **RESOLVED** to appoint Company C (Bonallack and Bishop) to progress the Men's Shed lease renewal.

#### 2. Review of site plans and design information

To consider and note the following design material:

- **Historic site plan** prepared by former Councillor Crossley, as presented within the PowerPoint pack setting out earlier layout assumptions and constraints. [
- **Comparison sketch plan** prepared by a qualified architect, who has recently delivered his own fully compliant car park, highlighting contemporary design standards, accessibility considerations, and practical layout efficiencies.

#### Outcome sought:

To agree the plans and drawings that will be taken forward as the baseline reference for the project noting this information will be presented to WTC for consideration and approval at the April meeting.

#### 3. Project timelines and development of a project plan

To agree indicative timelines for the project and the next stages of work, including:

- Key decision points

- Design development and approvals
- Procurement and implementation phases

**Outcome sought:**

Agreement on a high-level project timeline and approach to developing a detailed project plan.

**4. Men’s Shed – preparatory works**

To note that preparatory works for the Men’s Shed were formally resolved by Council in March 2026, and to consider delivery options, including:

- Whether a single contractor should be appointed to deliver both the car park works and the Men’s Shed preparatory works, or
- Whether the Men’s Shed preparatory works should be separately contracted, ahead of or alongside the wider car park project
- The scope and sequencing of the agreed preparatory works
- Dependencies with the wider car park project
- Any immediate actions required to progress delivery

**Outcome sought:**

To agree a preferred delivery approach for the Men’s Shed preparatory works, to be presented to Full Council for consideration in April, and to confirm how the preparatory works will be progressed.

**5. Agreement of scope of works**

To define and agree the overall scope of works for:

- The car park project
- Associated infrastructure and access considerations

**Outcome sought:**

A clearly defined and agreed scope to inform future design development, costing, and approvals.

**6. Next steps and actions**

To summarise agreed actions, responsibilities, and timescales arising from the meeting.

**7. Formal governance gateways requiring Full Council consideration and approval.**

13 April 2026 – Design Sign-Off (subject to contractor advice)

- Approval of layout, specification and delivery approach

11 May 2026 – Tender approval Appointment

- Approval of tender pack – note cost confirmation will be presented post the tender process.

08 June 2026TBC – Contractor selection and appointment

**8. Date of next meeting**

To agree the date and focus of the next project meeting.

## Scope of Works

### Phase 1 – Men’s Shed compound works (enabling / preparatory phase)

The Phase 1 works are intended to deliver the preparatory works previously resolved by Council and to enable the future operation of the Men’s Shed. The scope includes:

- Levelling and preparation of the Men’s Shed compound, including ground reduction or build-up as required to achieve a safe, stable and usable base
- Reconfiguration of two existing shipping containers within the compound to improve layout, access, and usability
- Supply and installation of two new shipping containers for storage purposes, including positioning, alignment, and any necessary foundations or bases
- Integration of the compound layout with the wider site constraints and future car park works, to avoid abortive works

These works may be delivered either:

- As part of a single contractor appointment covering both the car park and Men’s Shed works, or
- As a separately contracted package for enabling works to the Men’s Shed, subject to Council approval.

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### Phase 2 – Car park and associated infrastructure works

Phase 2 works relate to the wider car park improvement scheme and associated site enhancements. The scope includes:

- **Resurfacing of the car park**, including preparation of the existing surface and application of a new wearing course
- **Drainage improvements**, including investigation of existing drainage performance and the design of any required upgrades
  - Liaison with relevant statutory bodies, including the Environment Agency, and WC Planning where appropriate
- **Installation of new lighting**, to improve safety, visibility and accessibility
- **Improvements to sightlines**, particularly to and from the Pavilion, to enhance safety, natural surveillance and wayfinding
- **Improved landscaping works**
- Consideration of pedestrian and vehicle movements, accessibility requirements, and integration with adjacent facilities

### Outcome sought

To agree the phased scope of works set out above and confirm the basis on which a **preferred delivery approach** will be presented to **Full Council in April** for consideration and approval.

## Action Log – meeting #1 - Men’s Shed and Car Park Project

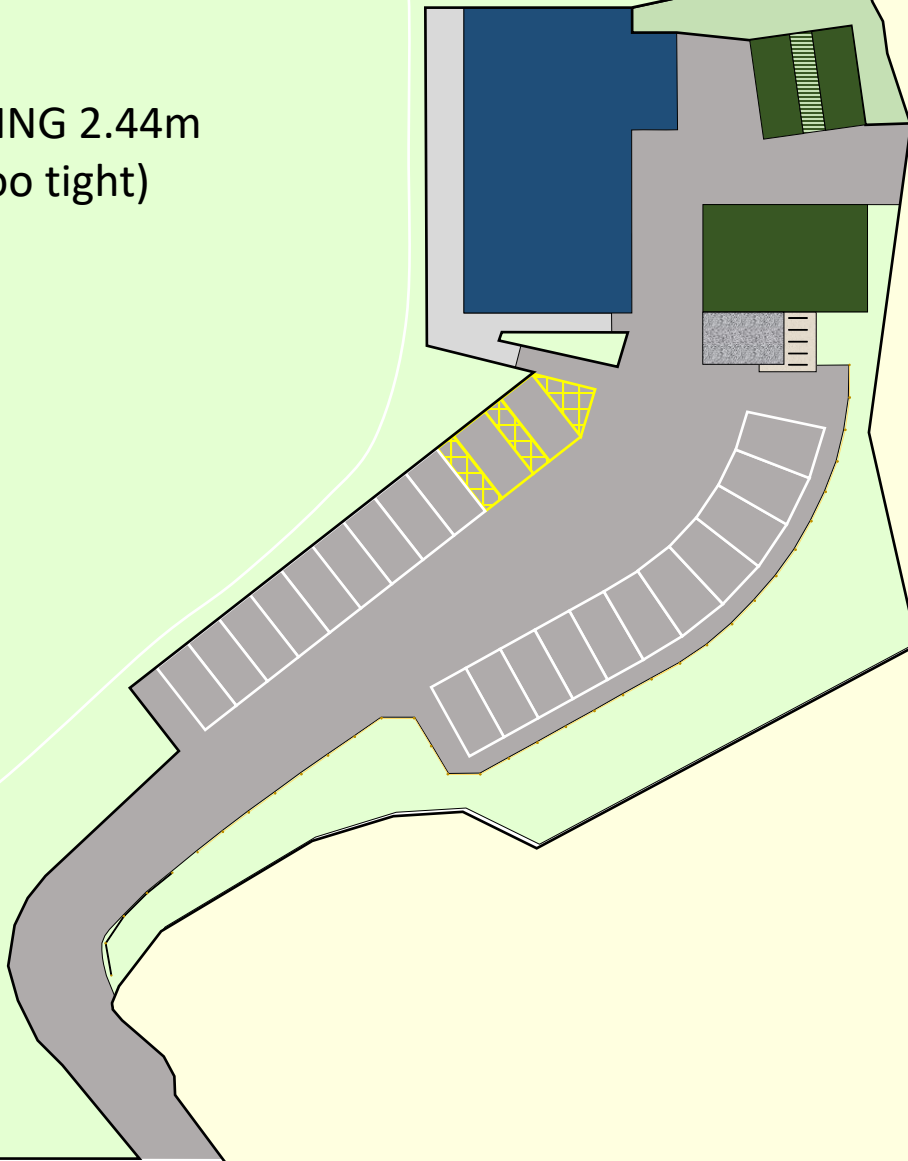
Ref	Theme	Action / Agreed Position	Responsibility
MS1	Flood Plan	Ensure no loss of flood capacity as part of Men’s Shed or car park works	Project Group
MS2	Levels	Finished floor level of containers to match Pavilion floor level	Architect / Contractor
MS3	Containers – Foundations	Containers to sit on concrete block pads (450mm square) – 10 pads total, with one foundation shared between two containers	Contractor
MS4	Ground Material	Leave excavated earth on site and reuse beneath containers; no removal off-site due to cost	Contractor
MS5	Ground Conditions	Info only - Site historically an industrial waste tip (1950s) – approach to minimise disturbance confirmed	Project Group
MS6	Padstones	Backfill soil around padstones after installation rather than exporting material	Contractor
MS7	Container Durability	Containers to be treated / specified to prevent rusting - discussion - no further action	Contractor
MS8	Spacing	Maintain 600mm minimum gap between containers - discussion - no further action	Architect / Contractor
MS9	Specialist Input	Contractor required to link to the car park and interface between the compound works	Project Group
MS10	Sequencing	Temporarily remove containers, prepare ground, then reinstall existing + new containers	Contractor
MS11	Orientation	Containers to be set onto slab at 90 degrees; new containers to sit on pads	Architect / Contractor
MS12	Alignment	Men’s Shed and containers to be the same floor height as the Pavilion	Project Group
MS13	Levels – Car Park	Car park to sit at same general level with a gentle ramp where required	Designer
MS14	Services	600mm gap between Men’s Shed and first container to allow routing of electrical supply for lighting	Contractor
MS15	Measurements	Accurate site measurements required before final layout - scheduled for Monday	PE / GBH
CP1	Car Park Construction	Car park base to be Type 1 hardcore with grit dressing	Contractor
CP2	Boundaries	Cricket boundary is at its limit therefore restricting car park expansion with no encroachment onto adjacent land possible.	Project Group
CP3	Parking Layout	Concept layout to be pegged out, but parking bays not formally marked (approx. 6m manoeuvring width required)	Contractor
CP4	Surface	Preferred surface: permeable asphalt with fall to manage drainage	Contractor

CP5	Landscaping	Planting along fence line (hedge) to support birds, bees and butterflies (biodiversity)	Contractor
CP6	Wildlife	Consider the wildlife area and whether it can be moved or incorporated into the plans - an advice note from a landscape specialist is being collated and will be included in the report	Project Group/WTC
CP7	Fencing	Fence currently poor – incorporate bird-friendly shrub planting	Contractor
CP8	Access	Maintain informal bin access route for neighbouring houses (not a formal right of way)	Project Group
L1	Lighting – Options	Consider SON lanterns (50w) for dark skies / bat-friendly lighting	Project Group
L2	Lighting – Alternative	LED lighting option noted (£400 pole + installation, galvanised, timed) - architect advice this is the best option	Project Group
L3	Lighting – Bollards	Low-level lighting problematic (vandalism, corrosion); no preferred bollard solution identified - architect advice	Project Group
G1	Next Step - other	Revised compound site plan to be prepared and circulated to project group	PE
G2	Next Step - other	Submit pre-app enquiry re planning permission	BL
G3	Next Step - other	Once ' <i>in-principle</i> ' design is approved then engage with the Environment Agency for further advice	BL
G3	Next Step - other	For information - the recommendation will reference the in-principle design subject to any recommendations from the contractor appointed to carry out the works.	Info

Aerial view of the Castle Meadow Pavilion car park.  
Please note: This is several years out of date (2022)



STANDARD PARKING 2.44m  
20 + 2 SPACES (too tight)  
All Tarmac.



20 metres

Plan from 2022

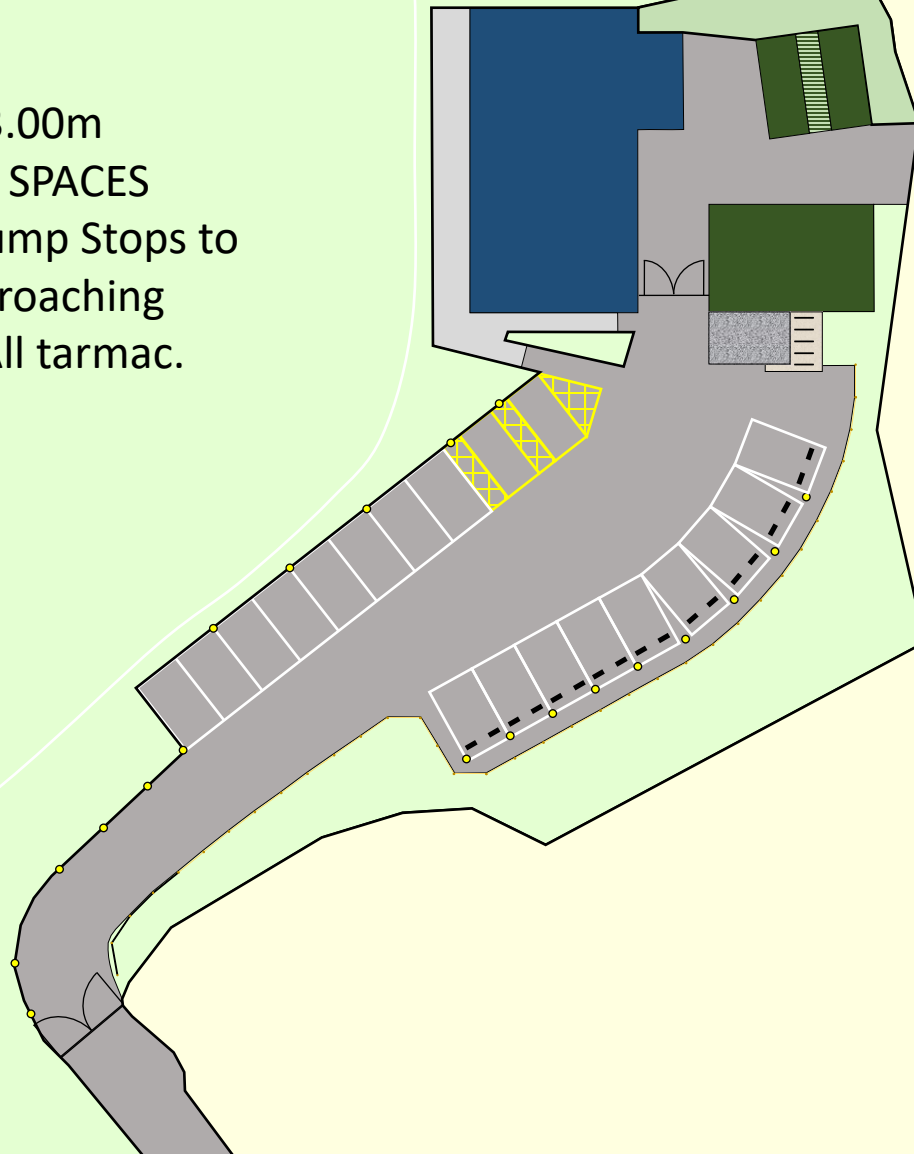
WIDE PARKING 3.00m  
17 + 2 DISABLED SPACES  
9 Spaces with Bump Stops to  
prevent cars encroaching  
over Footpath (Resin Bonded)

20 metres

The diagram is a site plan for a parking area. It features a grey asphalt parking lot with 19 individual parking spaces. Two of these spaces are designated as disabled spaces, indicated by a yellow hatched pattern. The remaining 17 spaces are standard. A dashed line with yellow dots along its edge represents a resin-bonded footpath. To the right of the parking lot is a building with a grey facade and a large blue rectangular section, possibly a canopy or a specific room. A green area with a grid pattern is located near the building. A scale bar at the bottom left shows a length of 20 metres. The background is divided into light green and light yellow areas, likely representing different types of ground or landscaping.

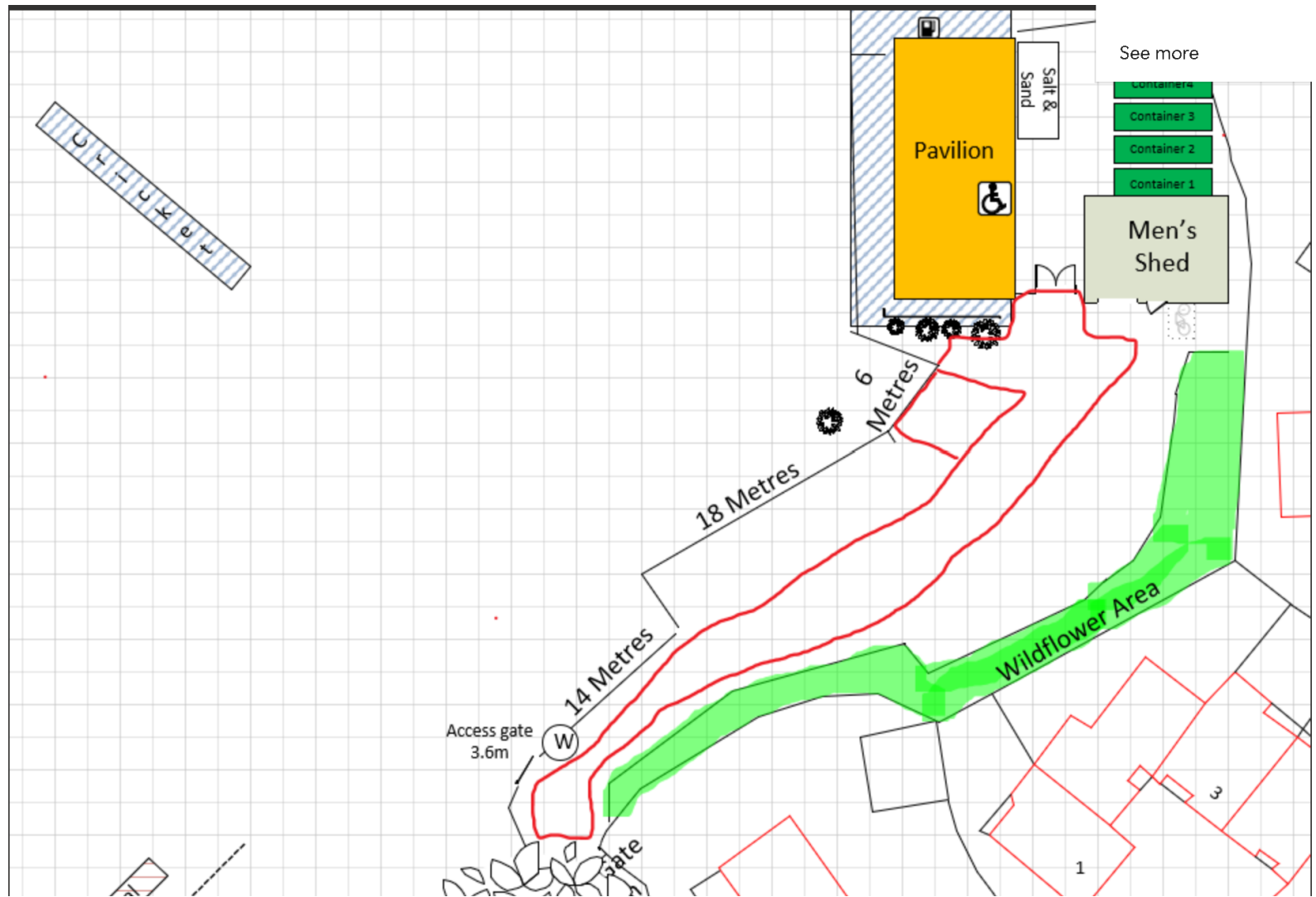
Plan from 2022

WIDE PARKING 3.00m  
17 + 2 DISABLED SPACES  
9 Spaces with Bump Stops to  
Prevent cars encroaching  
over Footpath. All tarmac.



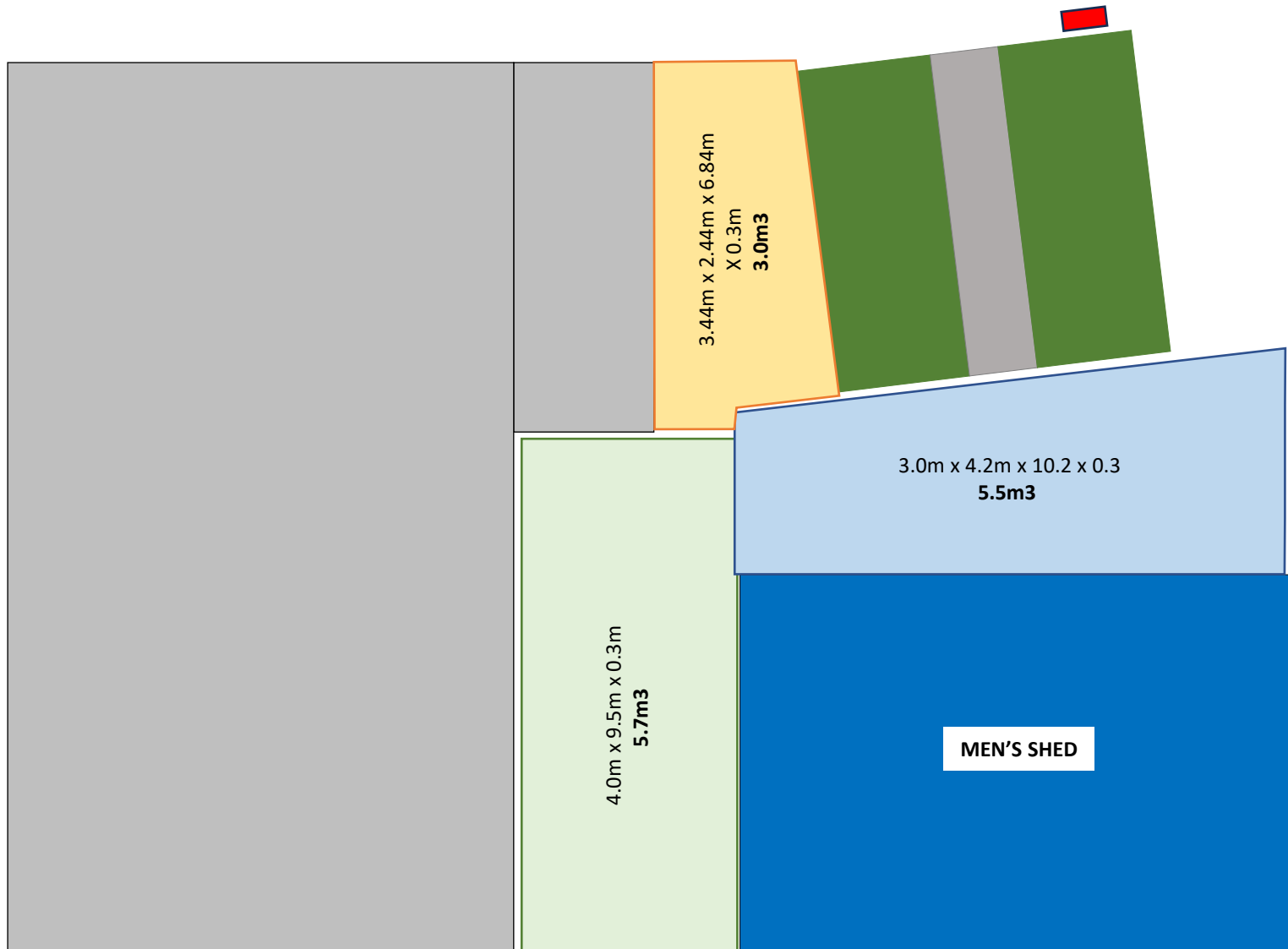
20 metres

Plan from 2022

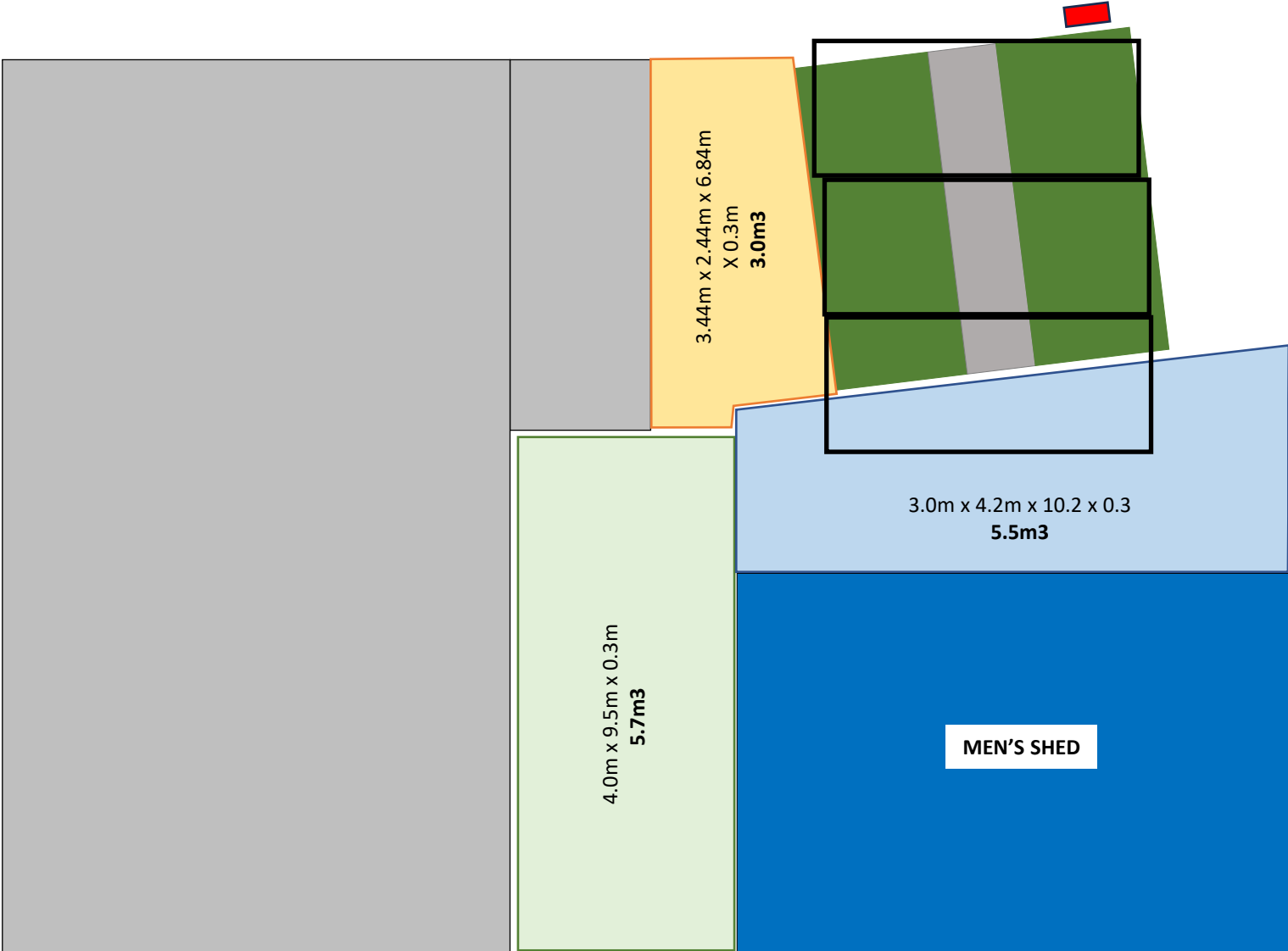


Revised sketch plan supplied by Cllr Edge

# COMPOUND ROUGH PLAN (EXISTING)



# COMPOUND ROUGH PLAN (3 CONTAINERS ROTATED)



## Example lighting Bollard



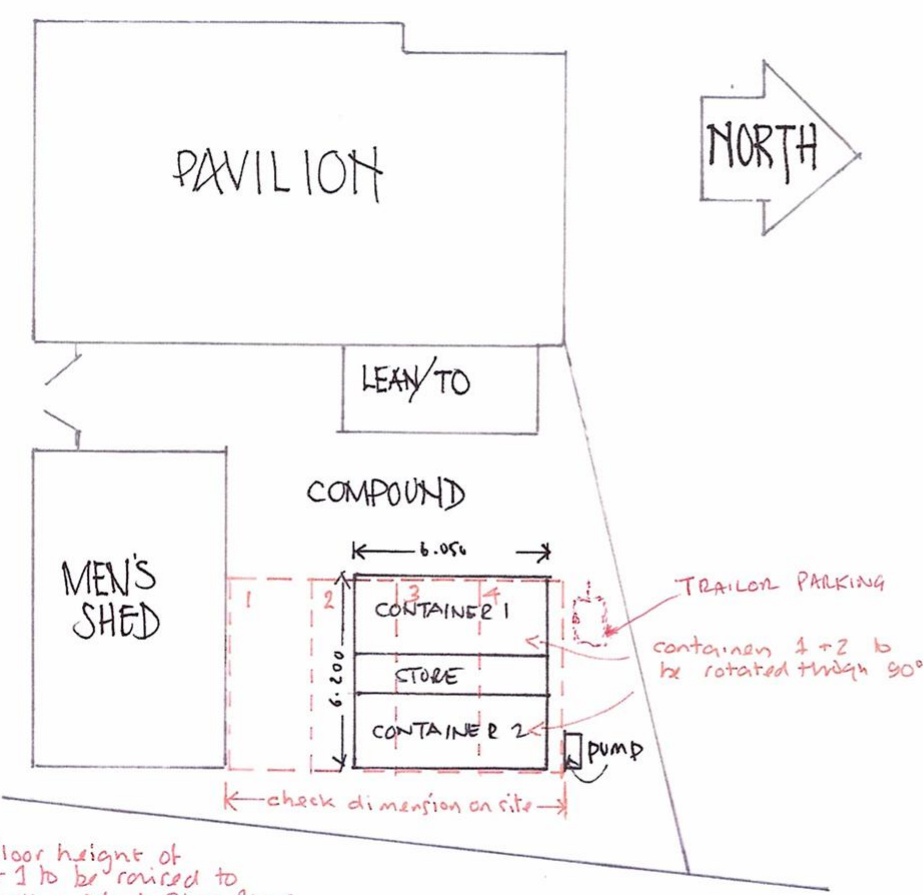


## Architect Sketch Plan (2026)

One option for WTC to  
consider



Current compound layout

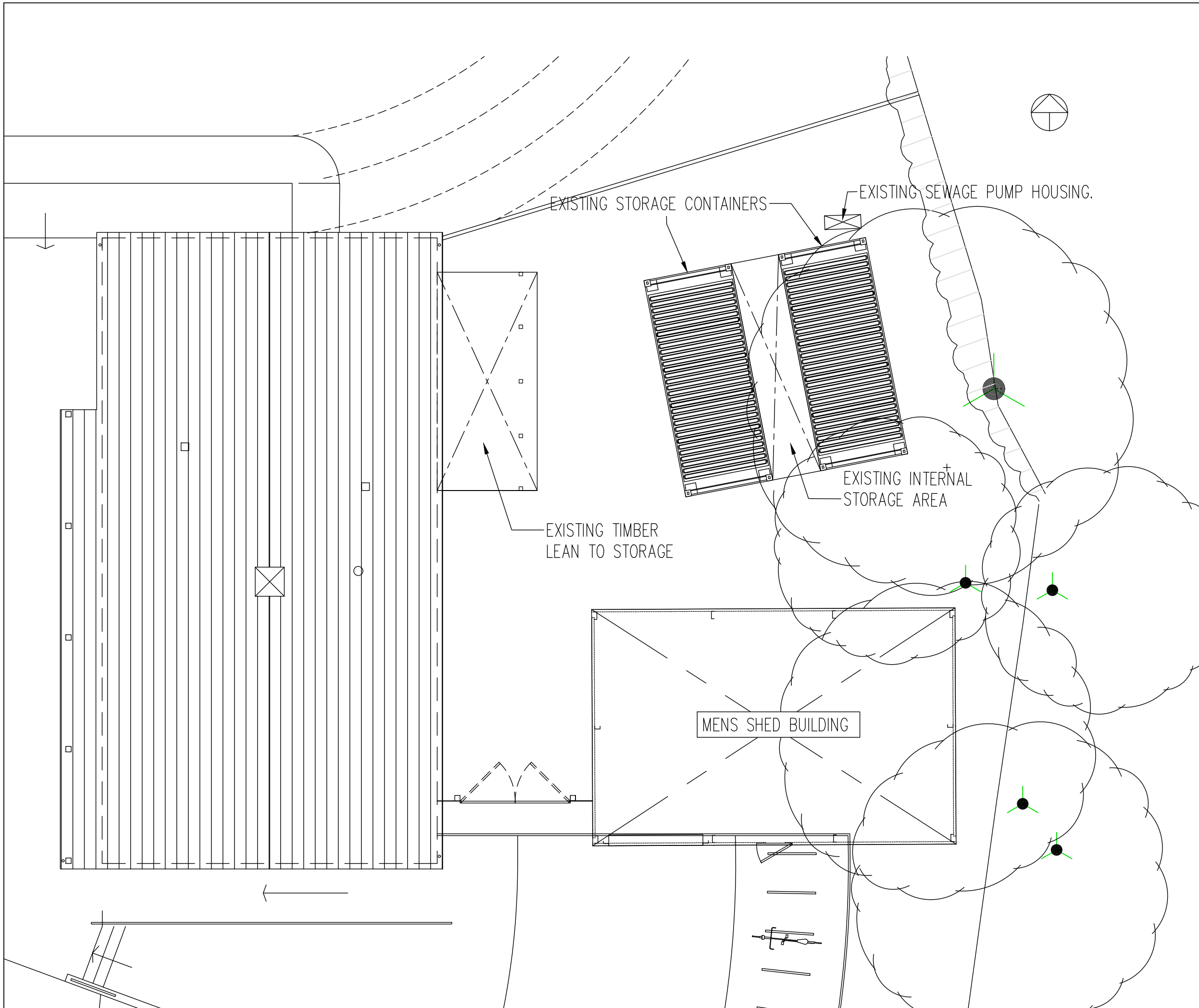


- NOTES:
- 1: REPOSITION 2x EXISTING CONTAINERS
  - 2: PROVISION/SITING OF 2x NEW CONTAINERS
  - 3: SLAB LEVEL FOR NEW CONTAINER TO BE RAISED TO MATCH MEN'S SHED LEVEL

SEPT 2025      APPROX SCALE : 1:200

REAR OF THE PAVILION  
 CASTLE MEADOWS  
 WILTON SP2 OHG

Future compound layout



**General Notes:**

- The drawing does not necessarily show all the information needed to interpret the design intent or the construction details.
- The drawing contains information from more than one source and must be read in conjunction with all relevant specifications.
- Any apparent drafting errors and differences between other drawings and specifications shall be brought to our attention.

**Project Notes:**

Disclaimer


These drawings are issued for design intent and general arrangement purposes only. They have been prepared from available information and are not to be scaled; all dimensions must be verified on site prior to construction or fabrication.

It is the sole responsibility of the Contractor to assess the feasibility of the works shown and to verify all dimensions before commencing work.

Survey information was obtained using tape measures to establish the positions of existing buildings, containers, and fixed installations within the compound. The drawings represent the best interpretation of the measurements recorded and should be treated accordingly.

Index	Description	Drawn & Chk by	Rev'd by	Date

**Revisions**



**Project Title**

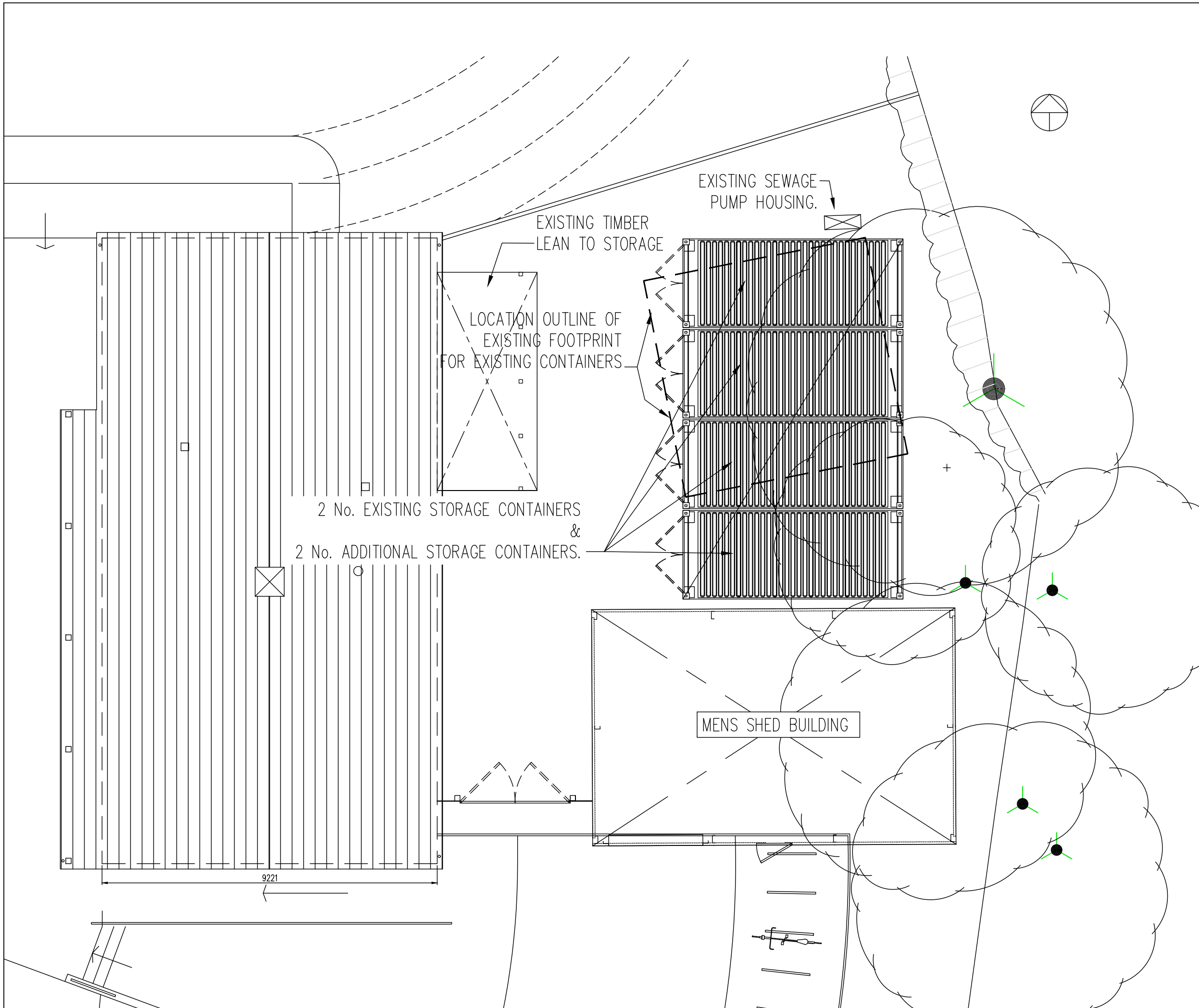
**WILTON TOWN COUNCIL  
CASTLE MEADOW**

**Drawing Title**

**STORAGE CONTAINERS  
EXISTING LAYOUT  
FOR MENS SHED**

**AS EXISTING**

Drawn by	Designed by	Reviewed by
GBH	GBH	
Project No	Date	Scale @ A3
WTC	Mar 2026	1:100
DRAWING NUMBER		Revision
WTC/MS/01		



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**Revisions**



**Wilton Town Council**

**Project Title**

**WILTON TOWN COUNCIL  
CASTLE MEADOW**

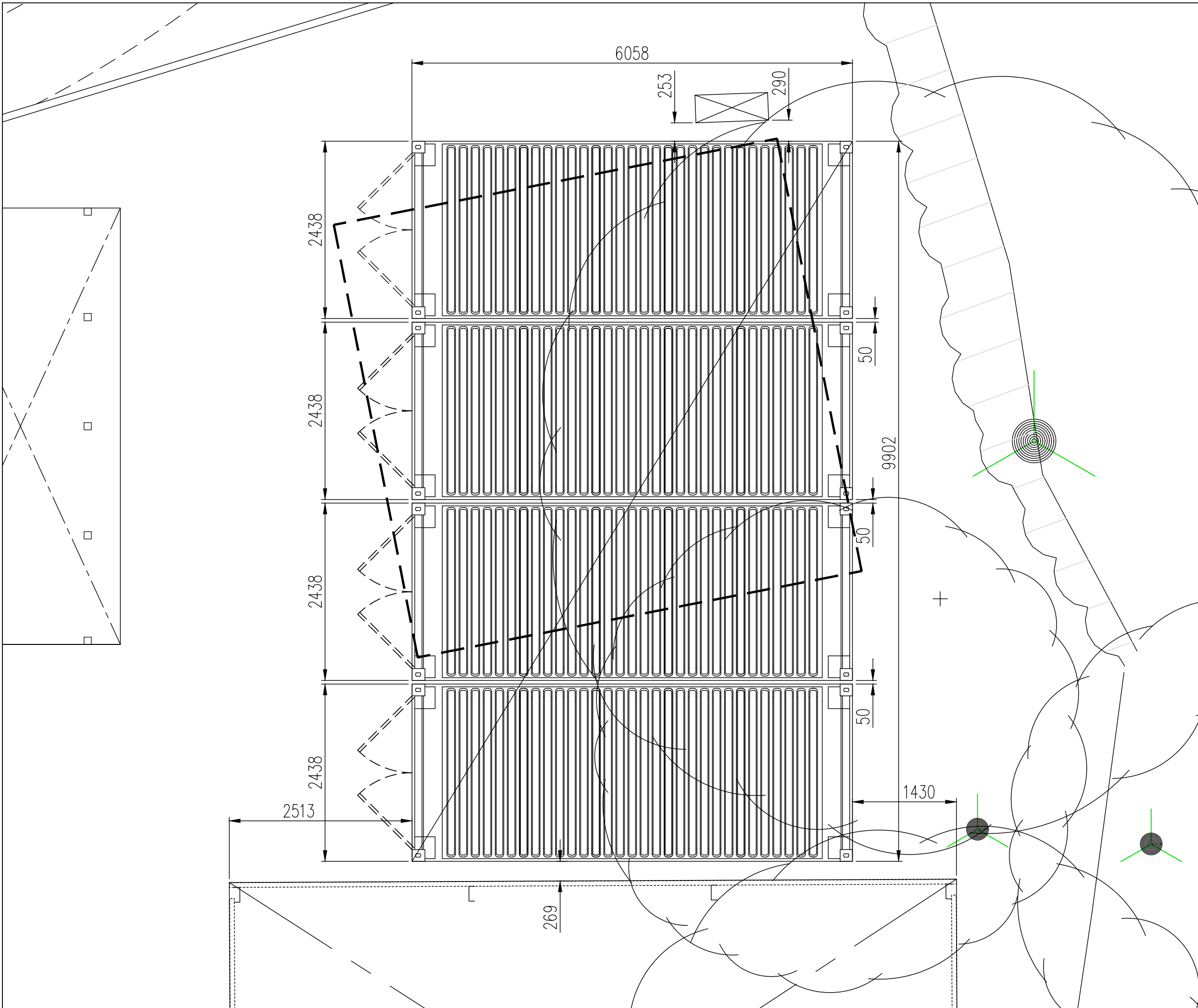
**Drawing Title**

**PROPOSED STORAGE CONTAINERS  
FOR  
MENS SHED**

**PROPOSED**

Drawn by	Designed by	Reviewed by
GBH	GBH	
Project No	Date	Scale @ A3
WTC	Mar 2026	1:100

DRAWING NUMBER	Revision
WTC/MS/02	



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**Revisions**



**Project Title**

**WILTON TOWN COUNCIL  
CASTLE MEADOW**

**Drawing Title**

**PROPOSED STORAGE CONTAINERS  
FOR MENS SHED  
PROPOSED DIMENSIONED LOCATION**

**PROPOSED**

Drawn by	Designed by	Reviewed by
GBH	GBH	
Project No	Date	Scale @ A3
WTC	Mar 2026	1:50

DRAWING NUMBER		Revision
WTC/MS/03		

# **Scope of Works – Pavilion Compound Levelling & Car Park Resurfacing, Accessibility & Lighting (Linked Two-Phase Project)**

## **1. Overview**

This Scope of Works sets out the requirements for a two-phase, linked project relating to improvements at and around The Pavilion, Castle Meadow, Castle Lane, Wilton. SP2 OHG comprising:

- **Phase 1** – Pavilion Compound Levelling & Enabling Works in preparation for 2 new storage containers and the reconfiguration of 2 existing containers
- **Phase 2** – Car Park Resurfacing, Accessibility Improvements & Lighting Installation (approximately 600 m<sup>2</sup>)

The two phases are to be treated as interdependent elements of a single coordinated project, with careful consideration given to drainage, access, visual impact, and long-term maintenance. The contractor is expected to advise on sequencing to ensure efficiencies, minimise disruption, and achieve a cohesive final layout. The scheme aims to deliver a safe, durable, accessible and visually softened environment suitable for community use, while maintaining cost control and future flexibility.

## **2. Extent of Works (General)**

The contractor shall undertake all works necessary to deliver both phases safely and in accordance with current UK standards, including site investigation, design input (where required), construction, testing and handover.

Advice is explicitly welcomed from the contractor on improvements, layout efficiencies, drainage solutions and landscape treatments where professional expertise may add value.

## **Phase 1 – Pavilion Compound Levelling, Enabling Works and Container works**

### **3. Pavilion Compound Works**

#### **3.1 Site Inspection & Preparation**

- Full inspection of the existing compound area,
- Identification of level discrepancies, soft spots, drainage constraints and boundary interfaces.
- Protection of adjacent structures, fencing and landscaped areas.

#### **3.2 Levelling, Formation & Container Works**

- Undertake compound levelling works to create a stable, usable and well-drained surface suitable for long-term operational use.
- Formation shall allow safe access and functional use of the compound in conjunction with the car park.
- Supply and install two (2) new storage containers, each measuring approximately 6 metres by 2.5 metres, within the compound.

- Reconfigure and reposition two (2) existing storage containers to support an improved layout, access and operational efficiency. The container layout, positioning and orientation is as shown on the plans
- The four shipping containers (2 existing, 2 new) are to be supported on suitable foundations to support their weight when fully loaded
- Provision shall be made for future maintenance access and operational flexibility.

### **3.3 Compound Access & Security**

- Supply and install new steel lockable access gates to the compound.
- Gates shall be robust, fit for purpose and suitable for long-term external use.
- Final specification to be agreed with the Client.

## **Phase 2 – Car Park Resurfacing, Accessibility & Lighting**

### **4. Site Preparation**

- Install appropriate safety barriers, signage and temporary protections.
- Clear site of debris, vegetation, loose material and failed surfacing.
- Excavate as required to achieve formation levels for surfacing, drainage and lighting ducting.
- Remove and legally dispose of all arisings.

### **5. Drainage Assessment & Works**

#### **5.1 Drainage Review**

- Undertake a drainage assessment of the compound and car park areas, noting that the car park area is adjacent to a flood plain
- Identify causes of existing or potential ponding
- Confirm suitable gradients and falls across all hard standing areas.

#### **5.2 Drainage Improvements**

- Clean, repair, or reinstate existing drains and gullies where present.
- Provide recommendations and costs for any additional measures required to avoid future ponding (e.g. additional gullies, soakaway solutions, levels adjustment).
- No drainage alterations to be undertaken without client approval

### **6. Sub-base Construction**

Supply and install MOT Type 1 (or approved equivalent) sub-base to a depth of approximately 100–150mm, unless otherwise advised following site investigation and ground condition assessment.

Sub-base shall be mechanically compacted to achieve a stable, uniform platform suitable for vehicle loading appropriate to the site.

## **7. Surfacing Works**

### **7.1 Tarmac surfacing**

- Supply and lay hot-laid asphalt surface course to a depth of approximately 40–60mm, unless otherwise advised by the contractor based on ground conditions, loading requirements or design recommendations.
- The surface shall be laid to falls to assist rainwater drainage.
- Surfacing shall be machine laid and rolled to provide a smooth, durable finish with clean tie-ins to existing paths and thresholds.

### **7.2 Gravel / Secondary Surfaces (Where Applicable)**

- Lay geotextile membrane to suppress weed growth.
- Supply and lay approved gravel in designated car parking areas.
- Install suitable edging restraints.

## **8. Parking Layout & Accessibility**

- Standard parking bays are not to be formally marked, except for one/two fully compliant accessible parking bay(s).
- A step-free, firm and well-drained route shall be provided from the accessible bay to the Pavilion entrance, in accordance with current accessibility guidance.

## **9. Accessible Parking & Routes**

### **9.1 Accessible Parking Provision**

- Provide at least one fully compliant accessible parking bay, constructed to current UK guidance in accordance with The Building Regulations Approved Document M1 & M2.
- Surface to be smooth, level, slip resistant, and durable, for wheelchair usage.
- Accessible markings to be limited strictly to the designated accessible bay only.

### **9.2 Accessible Routes**

- Provide a step free, firm, well drained route from the accessible bay to The Pavilion entrance.
- Gradients and widths to comply with accessibility best practice.

### **9.3 Signage**

- Install clear and improved wayfinding signage directing users to The Pavilion.
- Signage locations and wording to be agreed with the Client.

## **10. Lighting Installation**

### **10.1 Lighting Design**

- Provide suitable external grade LED lighting to illuminate the car park, access routes, and compound perimeter.
- Avoid glare or light spill to neighbouring properties.

### **10.2 Electrical Works**

- Electrical works may be subcontracted to the Council's preferred electrical contractor, subject to agreement and appropriateness.
- Install ducting, cabling, and connections to the existing power supply.
- Provide isolators, controls, and timers as required.

### **10.3 Testing & Commissioning**

- Test all electrical works in line with current regulations.
- Provide full certification and documentation at completion.

## **11. Landscaping & Wildflower Area**

### **11.1 Soft Landscaping**

- Provide improved landscaping to soften the overall appearance of the car park.

### **11.2 Wildflower Area**

- Assess the condition of the existing wildflower area adjoining or within the project boundary, noting that it has not been actively maintained and is currently in poor condition.
- Provide professional advice on:
  - Retaining and restoring the wildflower area in situ, including indicative costs to bring it back into a healthy condition; and/or
  - Relocating the wildflower planting to a more suitable area, including rationale and implications.
- Any proposed works to the wildflower area are to be presented as options, not assumed within the core works unless instructed.

## **12. Health & Safety**

- Full compliance with UK construction, electrical, and CDM regulations.
- Use of appropriate PPE at all times.
- Maintain safe public access throughout the work noting public will always have access to the playing field area during the period of the construction work.

## **13. Deliverables**

- At completion, the contractor shall provide:
- Completed Phase 1 compound levelling works with secure access

- Resurfaced car park and accessible parking arrangements.
- Installed, tested, and certified lighting system.
- Drainage assessment findings and any agreed remediation works.
- Landscaping and wildflower area recommendation report.
- As built drawings, specifications, and certification.

DRAFT



## **Tender pack – Pavilion Compound & Car Park Works**

Contractors are expected to attend a mandatory site visit, during which the site context and the more [detailed scope of works](#) will be explained. The site visit will provide tenderers with the opportunity to inspect existing conditions, constraints and interfaces, and to raise clarification questions prior to final submission.

Contractors are also invited to use their professional expertise to provide recommendations relating to construction methodology, sequencing, drainage solutions, surfacing options, accessibility, and long-term maintenance. Any such recommendations must be clearly identified, separately priced where appropriate, and submitted as options rather than assumptions within the baseline tender price.

This is a baseline tender intended to enable the Council to appoint a contractor based on a balanced assessment of company credentials, relevant experience, quality and cost, with the objective of achieving best value for money rather than simply the lowest price.

It is anticipated that the Council will work collaboratively with the selected contractor to develop the detailed design, with all design decisions, scope refinements and cost implications subject to formal Council approval. The tendered prices therefore provide a robust baseline for appointment, with detailed design development undertaken post-award in a controlled and transparent manner.

This document sets out the mandatory pricing structure to be used by all tenderers. Prices must be exclusive of VAT and entered against each section to enable a like-for-like comparison on all submissions.

### **Phase 1 – Compound Works**

Includes compound levelling, container foundations, installation of new and reconfiguration of existing containers, gates, preliminaries and H&S.

### **Phase 2 – Car Park works**

Includes car park resurfacing, accessibility improvements and lighting. Subject to Council approval.

Tenderers must fully complete the accompanying Excel Pricing Schedule. Incomplete or combined pricing may result in exclusion from evaluation.

Section	Reference	Description	Contractor Price (£ ex VAT)	
Phase 1	A1	Site setup, preliminaries & welfare	£	-
Phase 1	A2	Compound levelling & formation	£	-
Phase 1	A3	Container foundations (for 2 new containers)	£	-
Phase 1	A4	Supply & install 2 new containers	£	-
Phase 1	A5	Reconfigure 2 existing containers	£	-
Phase 1	A6	Security gates & making good	£	-
Phase 2	B1	Car park preparation & sub-base	£	-
Phase 2	B2	Drainage works (as advised)	£	-
Phase 2	B3	Surfacing works	£	-
Phase 2	B4	Accessible bay & routes	£	-
Phase 2	B5	Lighting installation	£	-
<b>TOTAL</b>			£	-

Name of Company .....

Address .....

Link to company website.....

Indicative start date (if selected).....